

DEMOLITION PLAN GENERAL NOTES

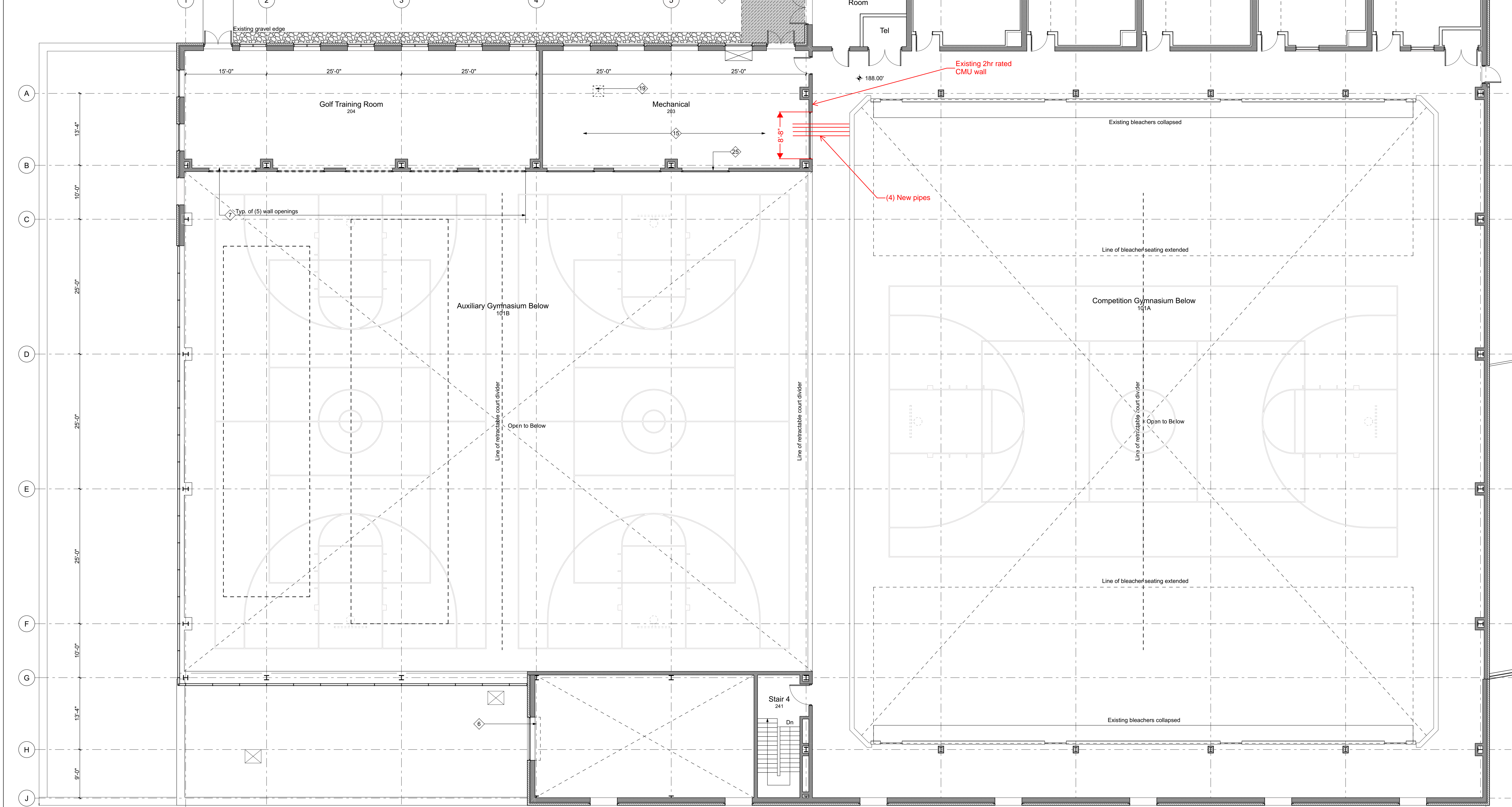
- A. Limited original construction drawings sets of the building are available for contractor's reference and use in determining additional scope and detail that may not otherwise be indicated in the demolition drawings.
- B. These notes are general in nature and apply to the entire building whether or not specifically noted or referenced on each floor. The drawings indicate only the general extent of demolition and may not include all demolition which will be required for new construction. Field verify all existing conditions prior to starting the work.
- C. For purposes of demolition, drawing dimensions are from finish face to finish face unless otherwise indicated.
- D. Dimensions as "+/-" are approximate, but shall be maintained as much as good construction practices allow. Notify architect of any change more than one inch. Specific dimensions shall be maintained.
- E. If any unusual or unforeseen conditions arise potentially affecting the structural integrity of the work to remain, contractor shall notify the architect and / or project manager immediately prior to continuing the work.
- F. Contractor shall maintain the building in a watertight and secure condition throughout the work. Damage resulting from negligence shall be repaired / replaced at no cost to the owner.
- G. Contractor shall protect existing surfaces, furniture, equipment, etc. from damage during the execution of the work. Contractor shall repair / replace any damage during the execution of the work at no additional cost to the owner.
- H. Elements to be removed that are indicated by dashed lines show the general extent of demolition only. U.N.C. actual dimensions may need to be determined by field dimensioning.
- I. Contractor shall minimize disturbances to the existing construction and finishes to remain. Where demolition damages surfaces that are to remain in place, or expose unfinished surfaces, contractor shall repair / patch / refinish those surfaces to match the finish and quality of the adjacent surfaces.
- J. All work must be in strict compliance with all codes, regulations, and ordinances of the agencies having jurisdiction over any portion of the work, including all licenses and permits.
- K. All damages occurring on the site beyond the work area as a result of the contractor's operation shall be repaired by the contractor at their own expense add to the full satisfaction of the architect / owner.
- L. Contractor shall coordinate all shut off services with the owner's representative minimum 72 hours in advance.
- M. Areas immediately adjacent to the work will be occupied. Contractor shall minimize interference with the daily activities of the owner's staff and operations. Maintain all building services including mechanical, electrical, plumbing, fire protection and fire announcement systems during all construction.
- N. Contractor shall protect for the duration of the work all existing partitions, doors, frames, structure, flooring and finishes not indicated by broken line or a note as existing to be removed.

DEMOLITION PLAN KEYED NOTES

- O. Contractor to coordinate architectural demolition drawings with S, C, M, P & E drawings for extent of demolition.
- P. Prior to demolition, coordinate with owner those items that are to be salvaged. Items to be salvaged for re-use shall be stored in a safe and secure location as directed by owner's representative until reinstallation.
- Q. For the duration of the work, cleaning and disposal shall be performed in such a manner as to insure that the premises, public, and adjacent properties are maintained free from the accumulation of debris, waste material, and rubbish. U.N.C., all equipment, wrecked and demolished materials, debris, and rubbish shall become property of the contractor and shall be removed by the contractor from the premises as fast as it accumulates.
- R. At all locations where debris is to be transferred vertically for a distance of 10 feet or more, the contractor shall provide an enclosed chute for this purpose. Debris shall not spill from the bottom of the chute directly onto the ground. The final drop of debris shall be into either an approved collection hopper or truck.
- S. Refer to Civil, Mechanical, Electrical and Plumbing drawings for additional demolition scope.
- 1. Remove motorized operable damper assembly in existing exterior 4'-8" w x 3'-0" h (+/-) masonry wall. Cap existing ductwork and abandon louver in place, typical of (4) openings shown. Refer to mechanical drawings for additional information.
- 2. Remove existing metal grille and metal fire damper assembly in existing 8'-8" w x 3'-8" h (+/-) interior 8" CMU masonry wall, typical of (5) openings shown. Refer to ME drawings for additional information. Prep openings for new construction as required.
- 3. Remove existing 8'-6" x 3'-6" w (+/-) metal ceiling grille, incl. frame and metal fire damper assembly at existing exterior plaster stucco soffit, typical of (5) openings shown. Refer to ME drawings for additional information. Prep opening for new construction as required.
- 4. Remove existing 8'-0" x 4'-0" w (+/-) metal ceiling grille, incl. frame and metal fire damper assembly at existing interior plaster stucco soffit, typical of (2) openings shown. Refer to ME drawings for additional information. Prep openings for new construction as required.
- 5. Existing cooling tower to be removed - refer to ME drawings for additional information.
- 6. Remove motorized operable damper assembly in existing exterior 8'-8" w x 3'-8" h (+/-) masonry wall. Cap existing ductwork and abandon louver in place, typical of (1) opening shown. Refer to mechanical drawings for additional information.
- 7. Remove existing metal grille and metal fire damper assembly in existing 8'-8" w x 3'-8" h (+/-) interior 8" CMU masonry wall, typical of (5) openings shown. Refer to ME drawings for additional information. Prep openings for new construction as required.
- 8. Remove existing GWB bulkheads, ACP ceilings, light fixtures, fire alarm devices, etc. as required to allow access for installation of new work. Salvage ceiling grids, panels, light fixtures and fire alarm devices for reinstallation.
- 9. Remove existing built-up roofing assembly including membrane, protection board(s), flashings, insulation etc. as required to install new work and as required to replace roofing in its entirety as indicated. Per the existing construction drawings, the existing roofing may be removed without affecting the existing precast concrete copings and counter flashing. Contractor to review conditions and notify Architect. Prep existing concrete surfaces as required to receive new roofing membrane system per manufacturer's requirements.
- 10. Not used.
- 11. Remove 5'-0" x 5'-0" translucent insulated plastic (Kalwall) clerestory panels to allow for new HVAC supply and return ductwork. Refer to ME drawings for additional information. Prep openings for new construction as required.
- 12. Existing integral light fixture and grille to remain in place.
- 13. Leave in place existing roof mounted metal exhaust ventilator, typical of (7). Do not remove existing roof mounted curbs supporting exhaust ventilators. Refer to MPE drawings for additional information including direction regarding removal of ceiling mounted exhaust fan units below.
- 14. Not used.
- 15. Refer to MPE drawings for MPE demolition.
- 16. Remove existing concrete / asphalt sidewalk and adjacent lawn as required to allow for new work.
- 17. Excavate as required to route new below grade service piping to new cooling tower. Ref. to MPE and new construction drawings for additional information.
- 18. Core existing concrete foundation wall for installation of new service piping to new cooling tower. Ref. MPE drawings for additional information.
- 19. Remove existing 14" boiler flue. Existing opening and flue sleeve to remain for new work. Refer to mech drawings.
- 20. Remove existing concrete pads as noted throughout mechanical room. Ref. to MPE drawings.
- 21. Existing roof ventilator to remain.
- 22. Existing fall arrest safety cable and support stanchions to be removed / reinstalled as req'd. to allow for new work. Work to be delegated design under contractor's scope of work.
- 23. Existing equipment to be relocated. Refer to ME drawings for further information.
- 24. Existing flue to remain in place.
- 25. Inspect and verify fire dampers are in good condition and will work properly to receive new work.
- 26. Remove existing roof ventilator. Leave opening for new work.

DEMOLITION PLAN LEGEND

- 1 Demolition Keyed Note
- Area of Slab Removed
- Area of Ceiling Above Removed UNO
- Wall / Door Removed
- Wall / Window Removed



1 2nd Floor Demo Plan
AD102 SCALE: 1/8" = 1'-0"

Note: Drawing based on original construction drawings and limited field verification. Contractor to verify critical dimensions in field conditions and notify Architect for discrepancies.

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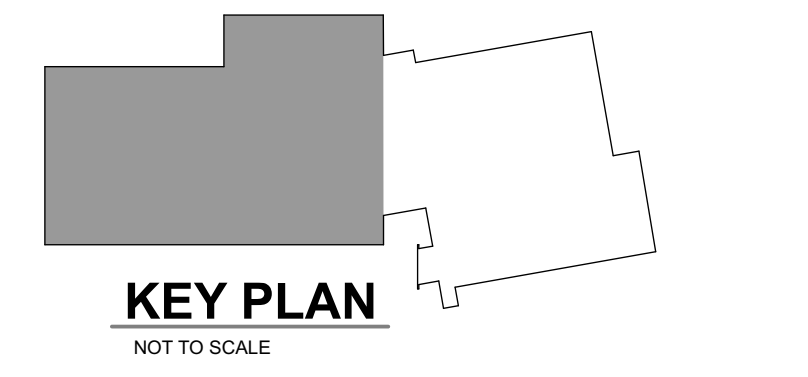
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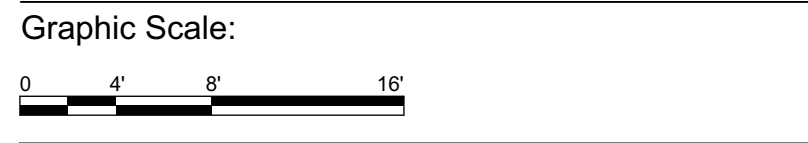
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Mark	Date	Description
	04.14.23	Permit Set
▲	06.16.23	Permit Revisions
▲	07.28.23	IFC Set

Drawing Title:
Gymnasium Second Floor Demolition Plan



Project No: 2219 Date: 07.28.2023
Drawing No: AD102

